



## RESIDENTIAL REPORT

1234 Main St.  
house springs, mo 63051

Buyer Name

02/03/2020 9:00AM



Inspector

**Randy Eaton**

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Agent

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# SUMMARY































MAINTENANCE ITEM



RECOMMENDATION



SAFETY HAZARD

-  2.1.1 Roof - Coverings: Underlayment Damage
-  2.2.1 Roof - Roof Drainage Systems: Debris
-  2.2.2 Roof - Roof Drainage Systems: Downspouts Drain Near House
-  2.2.3 Roof - Roof Drainage Systems: Gutters Guards
-  3.1.1 Exterior - Siding, Flashing & Trim: Cracking - Minor
-  3.1.2 Exterior - Siding, Flashing & Trim: Mildew/Algae
-  3.1.3 Exterior - Siding, Flashing & Trim: Loose siding
-  3.1.4 Exterior - Siding, Flashing & Trim: Missing siding
-  3.3.1 Exterior - Walkways, Patios & Driveways: Driveway Cracking - Minor
-  3.3.2 Exterior - Walkways, Patios & Driveways: Walkway Cracking - Minor
-  3.4.1 Exterior - Decks, Balconies, Porches & Steps: Deck - Water Sealant Required
-  3.7.1 Exterior - Retaining wall : Retaining wall leaning
-  4.1.1 Basement, Foundation, Crawlspace & Structure - Foundation: Paint peeling
-  4.3.1 Basement, Foundation, Crawlspace & Structure - Floor Structure: Paint peeling
-  5.1.1 Heating - Equipment: Filter Dirty
-  6.1.1 Cooling - Cooling Equipment: Clean condenser
-  7.4.1 Plumbing - Hot Water Systems, Controls, Flues & Vents: Water tank cleaning
-  8.1.1 Electrical - Service Entrance Conductors: Service wires touching downspout
-  8.2.1 Electrical - Main & Subpanels, Service & Grounding, Main Overcurrent Device: Missing Labels on Panel
-  8.6.1 Electrical - Smoke Detectors: Low Battery
-  10.4.1 Attic, Insulation & Ventilation - Exhaust Systems: Bathroom Vents Into Attic
-  11.1.1 Doors, Windows & Interior - Doors: Peeling paint
-  11.3.1 Doors, Windows & Interior - Floors: Tile grout cracking
-  11.4.1 Doors, Windows & Interior - Walls: Nail Pops
-  11.4.2 Doors, Windows & Interior - Walls: Poor Patching
-  11.5.1 Doors, Windows & Interior - Ceilings: Minor Damage
-  11.5.2 Doors, Windows & Interior - Ceilings: Stain(s) on Ceiling
-  11.7.1 Doors, Windows & Interior - Countertops & Cabinets: Cabinet Hinge Loose

 11.7.2 Doors, Windows & Interior - Countertops & Cabinets: Grout Deteriorating

# 1: INSPECTION DETAILS

## Information

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**In Attendance**

Client, Home Owner

**Occupancy**

Furnished, Occupied

**Style**

Multi-level

**Temperature (approximate)**

40 Fahrenheit (F)

**Type of Building**

Single Family

**Weather Conditions**

Light Rain

## 2: ROOF

		IN	NI	NP	D
2.1	Coverings	X			X
2.2	Roof Drainage Systems	X			X
2.3	Flashings	X			
2.4	Skylights, Chimneys & Other Roof Penetrations			X	

IN = Inspected    NI = Not Inspected    NP = Not Present    D = Deficiencies

### Information

**Inspection Method**

Roof

**Roof Type/Style**

Gable

**Coverings: Material**

Asphalt

**Roof Drainage Systems: Gutter Material**

Seamless Aluminum

**Flashings: Material**

Aluminum

### Limitations

### Deficiencies

2.1.1 Coverings

**UNDERLAYMENT DAMAGE**

ENTRYWAY



Recommendation

The roof underlayment had areas of moderate damage visible at the time of the inspection. These areas should be repaired by a qualified roofing contractor to help prevent damage from roof leakage. The underlayment was inspected in representative areas only.

2.2.1 Roof Drainage Systems

**DEBRIS**

OVER REAR DECK



Maintenance Item

Debris has accumulated in the gutters. Recommend cleaning to facilitate water flow.

[Here is a DIY resource](#) for cleaning your gutters.





2.2.2 Roof Drainage Systems

 Recommendation

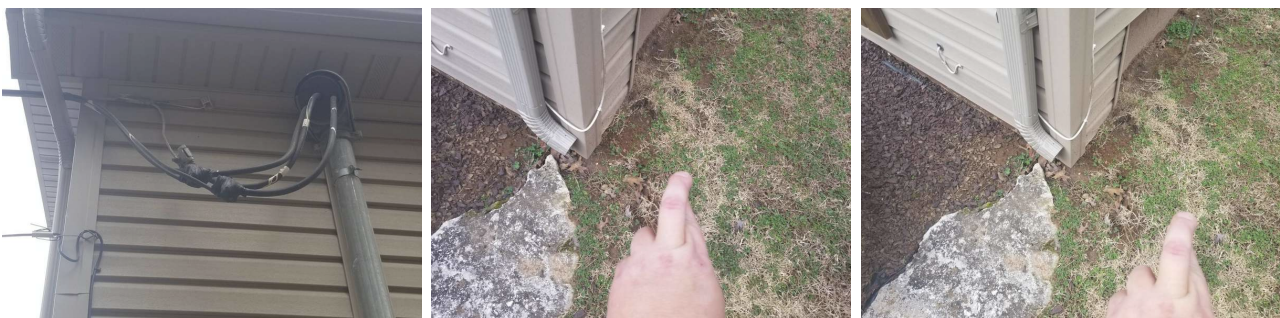
**DOWNSPOUTS DRAIN NEAR HOUSE**

One or more downspouts drain too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor adjust downspout extensions to drain at least 6 feet from the foundation.

[Here is a helpful DIY link](#) and video on draining water flow away from your house.

Recommendation

Contact a qualified gutter contractor





2.2.3 Roof Drainage Systems

**GUTTERS GUARDS**

FRONT OF HOUSE

Recommendation

Contact a handyman or DIY project

 Maintenance Item





# 3: EXTERIOR

		IN	NI	NP	D
3.1	Siding, Flashing & Trim	X			X
3.2	Exterior Doors	X			
3.3	Walkways, Patios & Driveways	X			X
3.4	Decks, Balconies, Porches & Steps	X			X
3.5	Eaves, Soffits & Fascia	X			
3.6	Vegetation, Grading, Drainage & Retaining Walls	X			
3.7	Retaining wall	X			X

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## Information

### Inspection Method

Visual

### Siding, Flashing & Trim: Siding Material

Vinyl

### Siding, Flashing & Trim: Siding Style

Shiplap

### Exterior Doors: Exterior Entry Door

Wood

### Walkways, Patios & Driveways: Driveway Material

Concrete

### Decks, Balconies, Porches & Steps: Appurtenance

Deck, Deck with Steps

### Decks, Balconies, Porches & Steps: Material

Composite

## Deficiencies

### 3.1.1 Siding, Flashing & Trim

 Recommendation

#### CRACKING - MINOR

Siding showed cracking in one or more places. This is a result of temperature changes, and typical as homes with stucco age. Recommend monitoring.

Recommendation

Contact a qualified siding specialist.



### 3.1.2 Siding, Flashing & Trim

 Maintenance Item

#### MILDEW/ALGAE

There are signs of algae and/or mildew on the siding. This is a cosmetic issue and is not uncommon especially on shaded portions of the home. Recommend that said areas be washed or cleaned on a regular basis.

Recommendation

Contact a handyman or DIY project



3.1.3 Siding, Flashing & Trim

 Recommendation

**LOOSE SIDING**

NORTH

One or more siding boards were loose, which could result in moisture intrusion. Recommend a qualified siding contractor secure and fasten.

Recommendation

Contact a qualified professional.



3.1.4 Siding, Flashing & Trim

 Recommendation

**MISSING SIDING**

At time of inspection I observed to missing siding pieces. This is a minor defect as this will a loud water penetration.



Recommendation

Contact a qualified professional.



3.3.1 Walkways, Patios & Driveways

**DRIVEWAY CRACKING - MINOR**

 Recommendation

Minor cosmetic cracks observed, which may indicate movement in the soil. Recommend monitor and/or have concrete contractor patch/seal.

Recommendation

Contact a qualified concrete contractor.



3.3.2 Walkways, Patios & Driveways

**WALKWAY CRACKING - MINOR**

 Recommendation

Minor cosmetic cracks observed. Recommend monitor and/or patch/seal.

Recommendation

Contact a qualified concrete contractor.



3.4.1 Decks, Balconies, Porches & Steps

Recommendation

**DECK - WATER SEALANT REQUIRED**

CORNER SUPPORT UNDERSIDE OF DECK

Deck is showing signs of weathering and/or water damage. Recommend water sealant/weatherproofing be applied.

[Here is a helpful article](#) on staining & sealing your deck.

Recommendation

Contact a qualified deck contractor.



3.7.1 Retaining wall

Safety Hazard

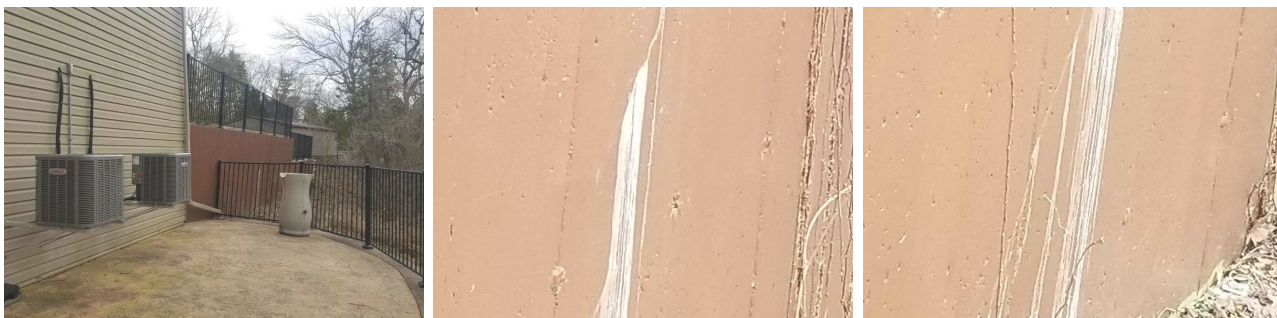
**RETAINING WALL LEANING**

NORTH WEST

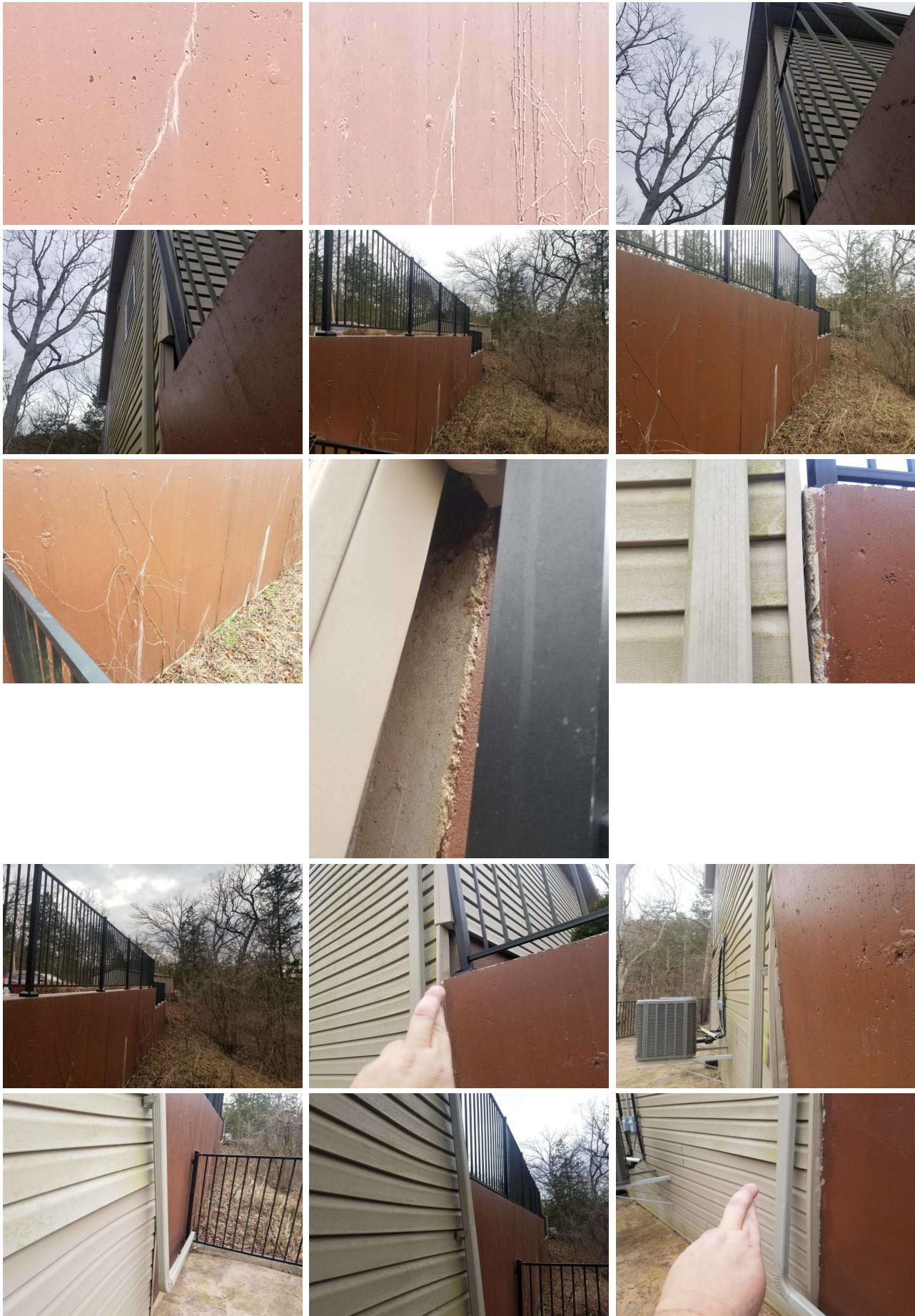
I observed that the retaining wall is pulling way from house foundation. This is causing soils erosion in the garden bed. The retaining wall is cracking vertically and is pulling siding way from house. This is a serious hazardous condition. And should be address immediately.

Recommendation

Contact a qualified professional.















# 4: BASEMENT, FOUNDATION, CRAWLSPACE & STRUCTURE

		IN	NI	NP	D
4.1	Foundation	X			X
4.2	Basements & Crawlspace	X			
4.3	Floor Structure	X			X
4.4	Wall Structure	X			
4.5	Ceiling Structure	X			

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## Information

**Inspection Method**  
Visual

**Foundation: Material**  
Concrete

**Floor Structure:**  
**Basement/Crawlspace Floor**  
Concrete

**Floor Structure: Material**  
Concrete, Slab

**Floor Structure: Sub-floor**  
Plywood

## Deficiencies

4.1.1 Foundation

### PAINT PEELING

FRONT AND SIDE



Paint peeling was evident on the surface of the foundation walls. This is a cosmetic defect.

Recommendation

Contact a qualified painting contractor.





4.3.1 Floor Structure

**PAINT PEELING**

 Recommendation

Paint peeling was evident on the surface of the concrete floor. This is a cosmetic defect

Recommendation

Contact a qualified professional.



# 5: HEATING

		IN	NI	NP	D
5.1	Equipment	X			X
5.2	Normal Operating Controls	X			
5.3	Distribution Systems	X			
5.4	Presence of Installed Heat Source in Each Room	X			

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## Information

### Equipment: Brand

Lennox

### Equipment: Energy Source

Electric

### Equipment: Heat Type

Forced Air

### Distribution Systems: Ductwork

Non-insulated

### AFUE Rating

Na

AFUE (Annual fuel utilization efficiency) is a metric used to measure furnace efficiency in converting fuel to energy. A higher AFUE rating means greater energy efficiency. 90% or higher meets the Department of Energy's Energy Star program standard.

## Deficiencies

### 5.1.1 Equipment

#### **FILTER DIRTY**

BASEMENT

Maintenance Item

The furnace filter is dirty and needs to be replaced every 1-2 months.

Recommendation

Recommended DIY Project





# 6: COOLING

		IN	NI	NP	D
6.1	Cooling Equipment	X			X
6.2	Normal Operating Controls	X			
6.3	Distribution System	X			
6.4	Presence of Installed Cooling Source in Each Room	X			

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## Information

**Cooling Equipment: Brand**  
Lennox

**Cooling Equipment: Energy Source/Type**  
Electric, Central Air Conditioner

**Cooling Equipment: Location**  
Exterior North

**Distribution System: Configuration**  
Central, Split

**Cooling Equipment: SEER Rating**  
14 SEER

Modern standards call for at least 13 SEER rating for new install.  
Read more on energy efficient air conditioning [at Energy.gov](http://Energy.gov).

## Deficiencies

6.1.1 Cooling Equipment  
**CLEAN CONDENSER**  
EXTERIOR NORTH



Outside condenser unit should be check and cleaned every 1-2 years. This is a cosmetic defect

Recommendation

Contact a qualified professional.



# 7: PLUMBING

		IN	NI	NP	D
7.1	Main Water Shut-off Device	X			
7.2	Drain, Waste, & Vent Systems	X			
7.3	Water Supply, Distribution Systems & Fixtures	X			
7.4	Hot Water Systems, Controls, Flues & Vents	X			X
7.5	Fuel Storage & Distribution Systems			X	
7.6	Sump Pump			X	

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## Information

### Filters

Sediment Filter

### Water Source

Well

### Water softener

Basement

There appears to be a water softener system installed.



### Main Water Shut-off Device:

#### Location

Basement, East

### Drain, Waste, & Vent Systems:

#### Drain Size

1 1/2", 2", 3"

### Drain, Waste, & Vent Systems:

#### Material

ABS, PVC

### Water Supply, Distribution Systems & Fixtures: Distribution

#### Material

Copper

### Water Supply, Distribution Systems & Fixtures: Water

#### Supply Material

Copper

### Hot Water Systems, Controls, Flues & Vents: Capacity

50 gallons

### Hot Water Systems, Controls, Flues & Vents: Location

Basement, Utility Room,

Washer/Dryer Area

### Hot Water Systems, Controls, Flues & Vents: Power

#### Source/Type

Electric

### Hot Water Systems, Controls, Flues & Vents: Manufacturer

Rheem

I recommend flushing & servicing your water heater tank annually for optimal performance. Water temperature should be set to at least 120 degrees F to kill microbes and no higher than 130 degrees F to prevent scalding.

[Here is a nice maintenance guide from Lowe's to help.](#)

## Limitations

## Deficiencies

### 7.4.1 Hot Water Systems, Controls, Flues & Vents

 Maintenance Item

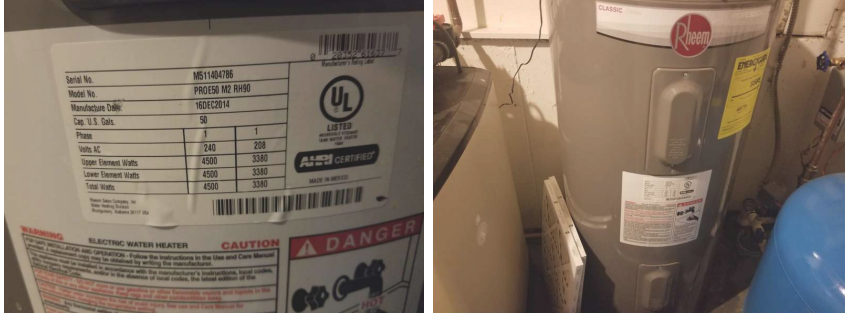
## WATER TANK CLEANING

BASEMENT

We recommend having the hot water tank clean and service every 1-2 years.

Recommendation

Contact a qualified professional.



# 8: ELECTRICAL

		IN	NI	NP	D
8.1	Service Entrance Conductors	X			X
8.2	Main & Subpanels, Service & Grounding, Main Overcurrent Device	X			X
8.3	Branch Wiring Circuits, Breakers & Fuses	X			
8.4	Lighting Fixtures, Switches & Receptacles	X			
8.5	GFCI & AFCI	X			
8.6	Smoke Detectors	X			X
8.7	Carbon Monoxide Detectors			X	

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## Information

**Service Entrance Conductors:**  
**Electrical Service Conductors**  
 Overhead, Aluminum, 220 Volts

**Main & Subpanels, Service & Grounding, Main Overcurrent Device:** Main Panel Location  
 Right

**Main & Subpanels, Service & Grounding, Main Overcurrent Device:** Panel Capacity  
 200 AMP

**Main & Subpanels, Service & Grounding, Main Overcurrent Device:** Panel Manufacturer  
 General Electric

**Main & Subpanels, Service & Grounding, Main Overcurrent Device:** Panel Type  
 Circuit Breaker

**Main & Subpanels, Service & Grounding, Main Overcurrent Device:** Sub Panel Location  
 Basement, Interior

**Branch Wiring Circuits, Breakers & Fuses:** Branch Wire 15 and 20 AMP  
 Copper

**Branch Wiring Circuits, Breakers & Fuses:** Wiring Method  
 Not Visible

## Limitations

## Deficiencies

8.1.1 Service Entrance Conductors



Recommendation

### SERVICE WIRES TOUCHING DOWNSPOUT

I observed Service entrance wire resting on downspout. This could lead to fraying the sheathing of the wires.

Recommendation

Contact a qualified professional.



8.2.1 Main & Subpanels, Service & Grounding, Main Overcurrent Device

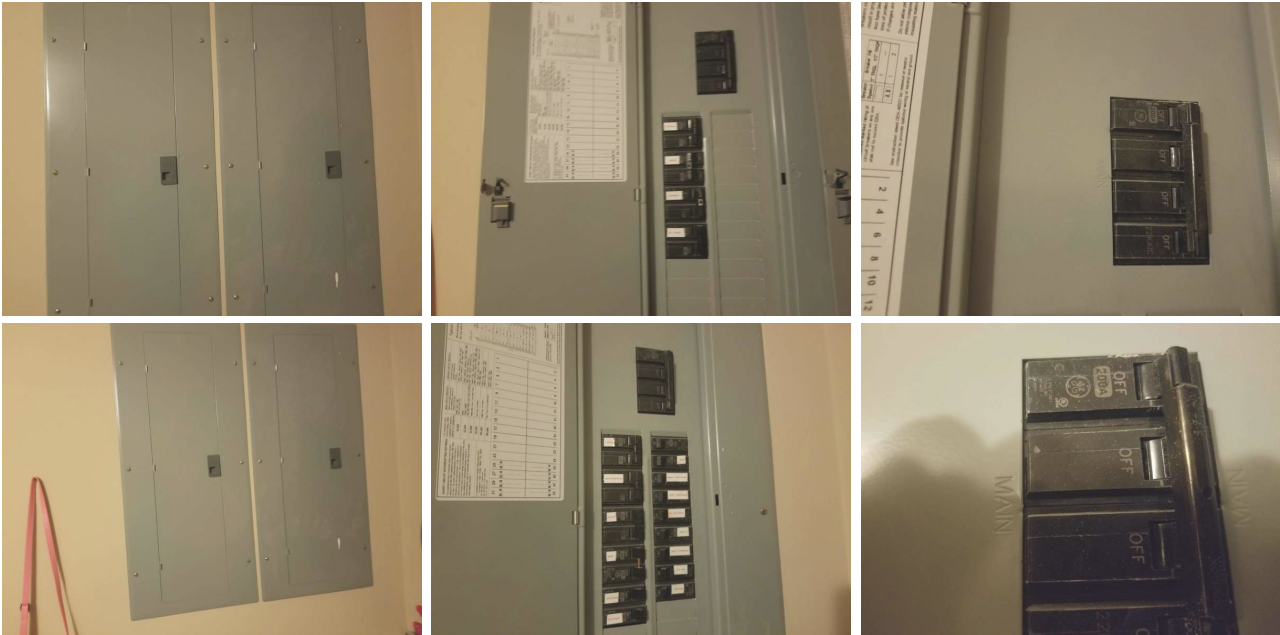
 Maintenance Item

**MISSING LABELS ON PANEL**

At the time of inspection, panel was missing labeling. Recommend a qualified electrician or person identify and map out locations.

Recommendation

Contact a qualified professional.



8.6.1 Smoke Detectors

 Recommendation

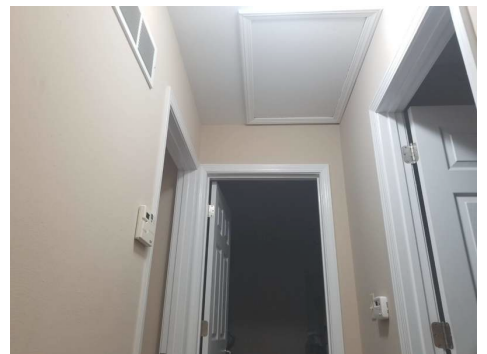
**LOW BATTERY**

MASTER BEDROOM

Smoke detector failed to respond when tested. Recommend battery be replaced.

Recommendation

Recommended DIY Project





## 9: FIREPLACE

		IN	NI	NP	D
9.1	Vents, Flues & Chimneys	X			
9.2	Lintels	X			
9.3	Damper Doors	X			
9.4	Cleanout Doors & Frames	X			

IN = Inspected

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NP = Not Present

D = Deficiencies

# 10: ATTIC, INSULATION & VENTILATION

		IN	NI	NP	D
10.1	Attic Insulation	X			
10.2	Vapor Retarders (Crawlspace or Basement)			X	
10.3	Ventilation	X			
10.4	Exhaust Systems	X			X

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## Information

**Dryer Power Source**

220 Electric

**Dryer Vent**

Metal (Flex)

**Flooring Insulation**

Batt, Fiberglass

**Attic Insulation: Insulation Type**

Blown, Cellulose

**Attic Insulation: R-value**

30

**Ventilation: Ventilation Type**

Gable Vents, Soffit Vents

**Exhaust Systems: Exhaust Fans**

Fan Only

## Limitations

## Deficiencies

10.4.1 Exhaust Systems



**BATHROOM VENTS INTO ATTIC**

Bathroom fan vents into the attic, which can cause moisture and mold. Recommend a qualified attic contractor property install exhaust fan to terminate to the exterior.

Recommendation

Contact a qualified professional.

# 11: DOORS, WINDOWS & INTERIOR

		IN	NI	NP	D
11.1	Doors	X			X
11.2	Windows	X			
11.3	Floors	X			X
11.4	Walls	X			X
11.5	Ceilings	X			X
11.6	Steps, Stairways & Railings	X			
11.7	Countertops & Cabinets	X			X

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## Information

**Windows: Window Manufacturer**    **Windows: Window Type**

Unknown

Casement, Double-hung,  
Thermal

**Floors: Floor Coverings**

Tile

**Walls: Wall Material**

Drywall, Tile

**Ceilings: Ceiling Material**

Gypsum Board

**Countertops & Cabinets:**

**Cabinetry**

Wood

**Countertops & Cabinets:**

**Countertop Material**

Granite

## Deficiencies

11.1.1 Doors

**PEELING PAINT**



Paint peeling was evident on the surface of the exterior doors. This is a cosmetic defect

Recommendation

Contact a qualified professional.



## 11.3.1 Floors



Maintenance Item

**TILE GROUT CRACKING**

MAIN AND MASTER BATHROOM

It appeared the grout is cracking from normal settling.

Recommendation

Contact a qualified professional.



## 11.4.1 Walls



Maintenance Item

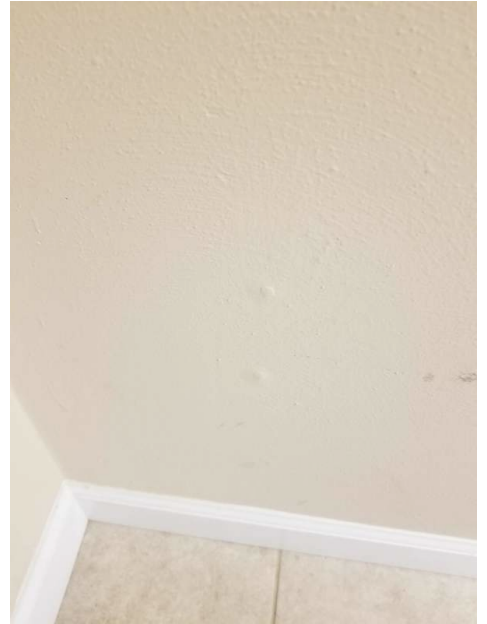
**NAIL POPS**

DINNING ROOM

Protruding nail heads visible at the time of the inspection appeared to be the result of contact with moisture. After the source of moisture is located and corrected, protruding nails should be removed, drywall re-fastened and the drywall finished to match the existing wall surfaces. All work should be performed by a qualified drywall or painting contractor.

Recommendation

Contact a qualified professional.



## 11.4.2 Walls



Maintenance Item

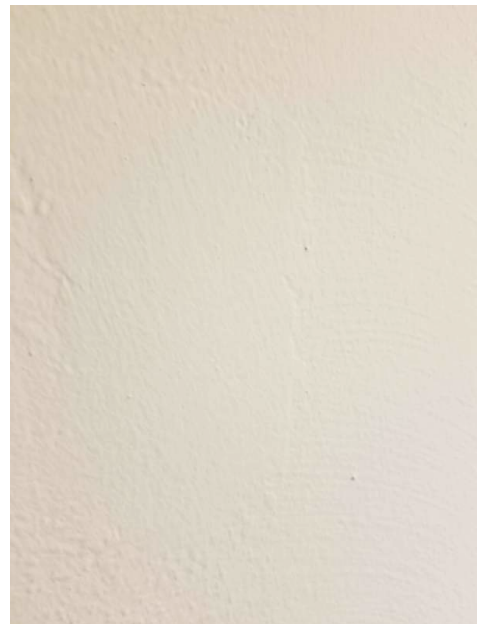
**POOR PATCHING**

DINNING ROOM

Sub-standard drywall patching observed at time of inspection. Recommend re-patching.

Recommendation

Contact a qualified professional.



11.5.1 Ceilings

**MINOR DAMAGE**

LIVING ROOM

 Recommendation

Minor damage or deterioration to the ceiling was visible at the time of the inspection.

Recommendation

Contact a qualified professional.



11.5.2 Ceilings

**STAIN(S) ON CEILING**

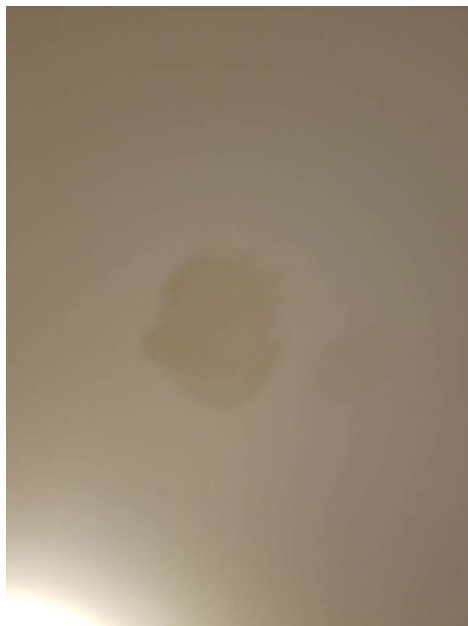
FOYER

 Recommendation

There is a stain on ceiling/wall that requires repair and paint. Source of staining should be determined.

Recommendation

Contact a qualified professional.



11.7.1 Countertops & Cabinets

**CABINET HINGE LOOSE**

KITCHEN

 Recommendation

One or more cabinet hinges were loose. Recommend a qualified handyman or cabinet contractor repair.

[Here is a helpful DIY article on cabinet repairs.](#)



Recommendation

Contact a qualified professional.



11.7.2 Countertops & Cabinets

**GROUT DETERIORATING**

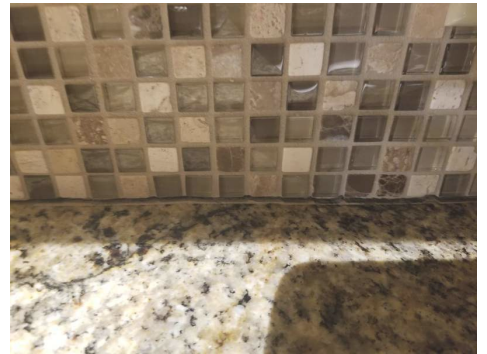
KITCHEN

Grout lines were cracked or severely deteriorated. Recommend a qualified contractor repair or replace grout.

Recommendation

Contact a qualified professional.

 Recommendation



# STANDARDS OF PRACTICE

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## Roof

I. The inspector shall inspect from ground level or the eaves: A. the roof-covering materials; B. the gutters; C. the downspouts; D. the vents, flashing, skylights, chimney, and other roof penetrations; and E. the general structure of the roof from the readily accessible panels, doors or stairs. II. The inspector shall describe: A. the type of roof-covering materials. III. The inspector shall report as in need of correction: A. observed indications of active roof leaks. IV. The inspector is not required to: A. walk on any roof surface. B. predict the service life expectancy. C. inspect underground downspout diverter drainage pipes. D. remove snow, ice, debris or other conditions that prohibit the observation of the roof surfaces. E. move insulation. F. inspect antennae, satellite dishes, lightning arresters, de-icing equipment, or similar attachments. G. walk on any roof areas that appear, in the inspectors opinion, to be unsafe. H. walk on any roof areas if doing so might, in the inspector's opinion, cause damage. I. perform a water test. J. warrant or certify the roof. K. confirm proper fastening or installation of any roof-covering material.

## Exterior

I. The inspector shall inspect: A. the exterior wall-covering materials, flashing and trim; B. all exterior doors; C. adjacent walkways and driveways; D. stairs, steps, stoops, stairways and ramps; E. porches, patios, decks, balconies and carports; F. railings, guards and handrails; G. the eaves, soffits and fascia; H. a representative number of windows; and I. vegetation, surface drainage, retaining walls and grading of the property, where they may adversely affect the structure due to moisture intrusion. II. The inspector shall describe: A. the type of exterior wall-covering materials. III. The inspector shall report as in need of correction: A. any improper spacing between intermediate balusters, spindles and rails. IV. The inspector is not required to: A. inspect or operate screens, storm windows, shutters, awnings, fences, outbuildings, or exterior accent lighting. B. inspect items that are not visible or readily accessible from the ground, including window and door flashing. C. inspect or identify geological, geotechnical, hydrological or soil conditions. D. inspect recreational facilities or playground equipment. E. inspect seawalls, breakwalls or docks. F. inspect erosion-control or earth-stabilization measures. G. inspect for safety-type glass. H. inspect underground utilities. I. inspect underground items. J. inspect wells or springs. K. inspect solar, wind or geothermal systems. L. inspect swimming pools or spas. M. inspect wastewater treatment systems, septic systems or cesspools. N. inspect irrigation or sprinkler systems. O. inspect drainfields or dry wells. P. determine the integrity of multiple-pane window glazing or thermal window seals.

## Basement, Foundation, Crawlspace & Structure

I. The inspector shall inspect: A. the foundation; B. the basement; C. the crawlspace; and D. structural components. II. The inspector shall describe: A. the type of foundation; and B. the location of the access to the under-floor space. III. The inspector shall report as in need of correction: A. observed indications of wood in contact with or near soil; B. observed indications of active water penetration; C. observed indications of possible foundation movement, such as sheetrock cracks, brick cracks, out-of-square door frames, and unlevel floors; and D. any observed cutting, notching and boring of framing members that may, in the inspector's opinion, present a structural or safety concern. IV. The inspector is not required to: A. enter any crawlspace that is not readily accessible, or where entry could cause damage or pose a hazard to him/herself. B. move stored items or debris. C. operate sump pumps with inaccessible floats. D. identify the size, spacing, span or location or determine the adequacy of foundation bolting, bracing, joists, joist spans or support systems. E. provide any engineering or architectural service. F. report on the adequacy of any structural system or component.

## Heating

I. The inspector shall inspect: A. the heating system, using normal operating controls. II. The inspector shall describe: A. the location of the thermostat for the heating system; B. the energy source; and C. the heating method. III. The inspector shall report as in need of correction: A. any heating system that did not operate; and B. if the heating system was deemed inaccessible. IV. The inspector is not required to: A. inspect or evaluate the interior of flues or chimneys, fire chambers, heat exchangers, combustion air systems, fresh-air intakes, humidifiers, dehumidifiers, electronic air filters, geothermal systems, or solar heating systems. B. inspect fuel tanks or underground or concealed fuel supply systems. C. determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the heating system. D. light or ignite pilot flames. E. activate heating, heat pump systems, or other heating systems when ambient temperatures or other circumstances are not conducive to safe operation or may damage the equipment. F. override electronic thermostats. G. evaluate fuel quality. H. verify thermostat calibration, heat anticipation, or automatic setbacks, timers, programs or clocks.

## Cooling

I. The inspector shall inspect: A. the cooling system, using normal operating controls. II. The inspector shall describe: A. the location of the thermostat for the cooling system; and B. the cooling method. III. The inspector shall report as

in need of correction: A. any cooling system that did not operate; and B. if the cooling system was deemed inaccessible. IV. The inspector is not required to: A. determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the cooling system. B. inspect portable window units, through-wall units, or electronic air filters. C. operate equipment or systems if the exterior temperature is below 65 Fahrenheit, or when other circumstances are not conducive to safe operation or may damage the equipment. D. inspect or determine thermostat calibration, cooling anticipation, or automatic setbacks or clocks. E. examine electrical current, coolant fluids or gases, or coolant leakage.

## Plumbing

I. The inspector shall inspect: A. the main water supply shut-off valve; B. the main fuel supply shut-off valve; C. the water heating equipment, including the energy source, venting connections, temperature/pressure-relief (TPR) valves, Watts 210 valves, and seismic bracing; D. interior water supply, including all fixtures and faucets, by running the water; E. all toilets for proper operation by flushing; F. all sinks, tubs and showers for functional drainage; G. the drain, waste and vent system; and H. drainage sump pumps with accessible floats. II. The inspector shall describe: A. whether the water supply is public or private based upon observed evidence; B. the location of the main water supply shut-off valve; C. the location of the main fuel supply shut-off valve; D. the location of any observed fuel-storage system; and E. the capacity of the water heating equipment, if labeled. III. The inspector shall report as in need of correction: A. deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously; B. deficiencies in the installation of hot and cold water faucets; C. mechanical drain stops that were missing or did not operate if installed in sinks, lavatories and tubs; and D. toilets that were damaged, had loose connections to the floor, were leaking, or had tank components that did not operate. IV. The inspector is not required to: A. light or ignite pilot flames. B. measure the capacity, temperature, age, life expectancy or adequacy of the water heater. C. inspect the interior of flues or chimneys, combustion air systems, water softener or filtering systems, well pumps or tanks, safety or shut-off valves, floor drains, lawn sprinkler systems, or fire sprinkler systems. D. determine the exact flow rate, volume, pressure, temperature or adequacy of the water supply. E. determine the water quality, potability or reliability of the water supply or source. F. open sealed plumbing access panels. G. inspect clothes washing machines or their connections. H. operate any valve. I. test shower pans, tub and shower surrounds or enclosures for leakage or functional overflow protection. J. evaluate the compliance with conservation, energy or building standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping. K. determine the effectiveness of anti-siphon, backflow prevention or drain-stop devices. L. determine whether there are sufficient cleanouts for effective cleaning of drains. M. evaluate fuel storage tanks or supply systems. N. inspect wastewater treatment systems. O. inspect water treatment systems or water filters. P. inspect water storage tanks, pressure pumps, or bladder tanks. Q. evaluate wait time to obtain hot water at fixtures, or perform testing of any kind to water heater elements. R. evaluate or determine the adequacy of combustion air. S. test, operate, open or close: safety controls, manual stop valves, temperature/pressure-relief valves, control valves, or check valves. T. examine ancillary or auxiliary systems or components, such as, but not limited to, those related to solar water heating and hot water circulation. U. determine the existence or condition of polybutylene plumbing. V. inspect or test for gas or fuel leaks, or indications thereof.

## Electrical

I. The inspector shall inspect: A. the service drop; B. the overhead service conductors and attachment point; C. the service head, gooseneck and drip loops; D. the service mast, service conduit and raceway; E. the electric meter and base; F. service-entrance conductors; G. the main service disconnect; H. panelboards and over-current protection devices (circuit breakers and fuses); I. service grounding and bonding; J. a representative number of switches, lighting fixtures and receptacles, including receptacles observed and deemed to be arc-fault circuit interrupter (AFCI)-protected using the AFCI test button, where possible; K. all ground-fault circuit interrupter receptacles and circuit breakers observed and deemed to be GFCIs using a GFCI tester, where possible; and L. smoke and carbon-monoxide detectors. II. The inspector shall describe: A. the main service disconnect's amperage rating, if labeled; and B. the type of wiring observed. III. The inspector shall report as in need of correction: A. deficiencies in the integrity of the service-entrance conductors insulation, drip loop, and vertical clearances from grade and roofs; B. any unused circuit-breaker panel opening that was not filled; C. the presence of solid conductor aluminum branch-circuit wiring, if readily visible; D. any tested receptacle in which power was not present, polarity was incorrect, the cover was not in place, the GFCI devices were not properly installed or did not operate properly, evidence of arcing or excessive heat, and where the receptacle was not grounded or was not secured to the wall; and E. the absence of smoke detectors. IV. The inspector is not required to: A. insert any tool, probe or device into the main panelboard, sub-panels, distribution panelboards, or electrical fixtures. B. operate electrical systems that are shut down. C. remove panelboard cabinet covers or dead fronts. D. operate or re-set over-current protection devices or overload devices. E. operate or test smoke or carbon-monoxide detectors or alarms. F. inspect, operate or test any security, fire or alarms systems or components, or other warning or signaling systems. G. measure or determine the amperage or voltage of the main service equipment, if not visibly labeled. H. inspect ancillary wiring or remote-control devices. I. activate any electrical systems or branch circuits that are not energized. J. inspect low-voltage systems, electrical de-icing tapes, swimming pool wiring, or any timecontrolled devices. K. verify the service ground. L. inspect private or emergency electrical supply sources, including, but not limited to: generators, windmills, photovoltaic solar collectors, or battery or electrical storage facility. M. inspect spark or lightning arrestors. N. inspect or test de-icing equipment. O. conduct voltage-drop calculations. P. determine the accuracy of labeling. Q. inspect exterior lighting.

**Fireplace**

I. The inspector shall inspect:

readily accessible and visible portions of the fireplaces and chimneys;

lintels above the fireplace openings;

damper doors by opening and closing them, if readily accessible and manually operable; and

cleanout doors and frames.

II. The inspector shall describe:

the type of fireplace.

III. The inspector shall report as in need of correction:

evidence of joint separation, damage or deterioration of the hearth, hearth extension or chambers;

manually operated dampers that did not open and close;

the lack of a smoke detector in the same room as the fireplace;

the lack of a carbon-monoxide detector in the same room as the fireplace; and

cleanouts not made of metal, pre-cast cement, or other non-combustible material.

IV. The inspector is not required to:

inspect the flue or vent system.

inspect the interior of chimneys or flues, fire doors or screens, seals or gaskets, or mantels.

determine the need for a chimney sweep.

operate gas fireplace inserts.

light pilot flames.

determine the appropriateness of any installation.

inspect automatic fuel-fed devices.

inspect combustion and/or make-up air devices.

inspect heat-distribution assists, whether gravity-controlled or fan-assisted.

ignite or extinguish fires.

determine the adequacy of drafts or draft characteristics.

move fireplace inserts, stoves or firebox contents.

perform a smoke test.

dismantle or remove any component.

perform a National Fire Protection Association (NFPA)-style inspection.

perform a Phase I fireplace and chimney inspection.

**Attic, Insulation & Ventilation**

I. The inspector shall inspect: A. insulation in unfinished spaces, including attics, crawlspaces and foundation areas; B. ventilation of unfinished spaces, including attics, crawlspaces and foundation areas; and C. mechanical exhaust systems in the kitchen, bathrooms and laundry area. II. The inspector shall describe: A. the type of insulation observed; and B. the approximate average depth of insulation observed at the unfinished attic floor area or roof structure. III. The inspector shall report as in need of correction: A. the general absence of insulation or ventilation in unfinished spaces. IV. The inspector is not required to: A. enter the attic or any unfinished spaces that are not readily accessible, or where entry could cause damage or, in the inspector's opinion, pose a safety hazard. B. move, touch or disturb insulation. C. move, touch or disturb vapor retarders. D. break or otherwise damage the surface finish or weather seal on or around access panels or covers. E. identify the composition or R-value of insulation material. F. activate thermostatically operated fans. G. determine the types of materials used in insulation or wrapping of pipes, ducts, jackets, boilers or wiring. H. determine the adequacy of ventilation.

**Doors, Windows & Interior**

I. The inspector shall inspect: A. a representative number of doors and windows by opening and closing them; B. floors, walls and ceilings; C. stairs, steps, landings, stairways and ramps; D. railings, guards and handrails; and E. garage vehicle doors and the operation of garage vehicle door openers, using normal operating controls. II. The inspector shall describe: A. a garage vehicle door as manually-operated or installed with a garage door opener. III. The inspector shall report as in need of correction: A. improper spacing between intermediate balusters, spindles and rails for steps, stairways, guards and railings; B. photo-electric safety sensors that did not operate properly; and C. any window that was obviously fogged or displayed other evidence of broken seals. IV. The inspector is not required to: A. inspect paint, wallpaper, window treatments or finish treatments. B. inspect floor coverings or carpeting. C. inspect central vacuum systems. D. inspect for safety glazing. E. inspect security systems or components. F. evaluate the fastening of islands, countertops, cabinets, sink tops or fixtures. G. move furniture, stored items, or any coverings, such as carpets or rugs, in order to inspect the concealed floor structure. H. move suspended-ceiling tiles. I. inspect or move any household appliances. J. inspect or operate equipment housed in the garage, except as otherwise noted. K. verify or certify the proper operation of any pressure-activated auto-reverse or related safety feature of a garage door. L. operate or evaluate any security bar release and opening mechanisms, whether interior or exterior, including their compliance with local, state or federal standards. M. operate any system, appliance or component that requires the use of special keys, codes, combinations or devices. N. operate or evaluate self-cleaning oven cycles, tilt guards/latches, or signal lights. O. inspect microwave ovens or test leakage from microwave ovens. P. operate or examine any sauna, steamgenerating equipment, kiln, toaster, ice maker, coffee maker, can opener, bread warmer, blender, instant hot-water dispenser, or other small, ancillary appliances or devices. Q. inspect elevators. R. inspect remote controls. S. inspect appliances. T. inspect items not permanently installed. U. discover firewall compromises. V. inspect pools, spas or fountains. W. determine the adequacy of whirlpool or spa jets, water force, or bubble effects. X. determine the structural integrity or leakage of pools or spas.